

Gore District Council Decisions



NOTIFICATION UNDER s95A AND s95B AND DETERMINATION UNDER s104

Resource Management Act 1991

Application reference	LU26025
Applicant	Elden & Maree Abernethy (c/o Ajax Building Contractors)
Proposal	Application under Section 88 of the Resource Management Act 1991 (RMA) to construct a detached garage 1500mm off the front street boundary.
Location	9 Robertson Street, Gore
Legal Description	Lot 2 DP 7047
Zone - Operative District Plan	Residential A
Zone - Proposed District Plan	General Residential
Activity Status	Restricted Discretionary
Decision Date	21 July 2026

SUMMARY OF DECISIONS

1. Pursuant to sections 95A-95F of the Resource Management Act 1991 (**RMA**) the application will be processed on a **non-notified** basis given the findings of Section 5 of the Section 95A and 95B report. This decision is made by Werner Murray, on 21 July 2026 under delegated authority pursuant to Section 34A of the RMA.
2. Pursuant to Section 104 and Section 104C of the RMA, consent is **GRANTED SUBJECT TO CONDITIONS** outlined in this report of the Section 104 decision imposed pursuant to Section 108 of the RMA. This consent can only be implemented if the conditions in this report are complied with by the consent holder. The decision to grant consent was considered by Werner Murray, under delegated authority pursuant to Section 34A of the RMA.

1. THE PROPOSAL

Consent is sought to construct a detached garage within the front yard setback. The garage is proposed to be situated on the south-eastern corner of the site and will have a total floor area of 57.6m². It will be located 1.5m from the front boundary, breaching the 3m setback standard by 1.5m. Given the nature of the building the proposal is permitted under the Operative District Plan-being a garage that is located at least 500mm from the boundary and breaching the ODP 4m setback for less than 6m in length. The Proposed District Plan does not have this allowance, and as such consent is required due to the breach in the 3m PDP front yard setback. The garage itself is proposed to be a pre-fabricated building consisting of corrugated sheets in a tone similar to that of the existing fence along the front boundary. The garage will have a pitched roof with the highest point being at the north-east facing side which will provide roller-door access to the building. A further door will be located on the north-western side of the garage which will allow for foot access.

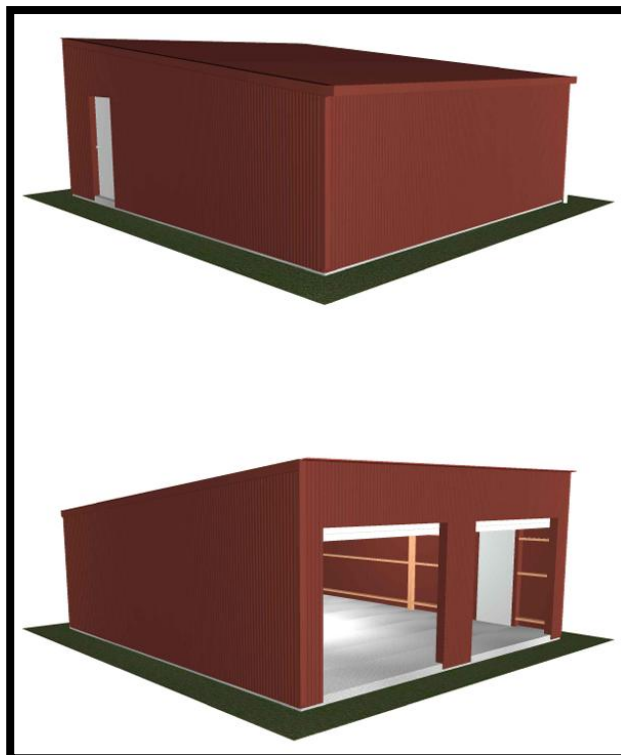


Figure 1: Proposed garage



Figure 2: Proposed detached garage location

2. SITE DESCRIPTION

The site is zoned Residential A under the ODP, and General Residential under the PDP. It is flat and irregular in shape and is located in an urban residential area. The site has been developed for residential purposes, having a wide, sealed driveway upon which vehicles are able to turn and manoeuvre, and on the rear end of the site the property features a large area of permeable outdoor living space. On the west the subject site shares a boundary with St Peter's College, and on the east the subject site sits across the road from Māruawai College Senior Campus. North and south neighbouring sites are residential, as is the rest of the street.



Figure 2: Aerial image of subject site and surrounds

3. ACTIVITY STATUS

3.1 Gore District Plan

Gore District Council currently have an Operative District Plan (ODP) and Proposed District Plan (PDP).

Council notified decision on the PDP on 30 January 2026. There are a number of appeals outstanding on these decisions. Where there are rules in the PDP that are treated operative under s86F of the RMA, corresponding rules in the ODP are treated as inoperative.

Consent is required under Section 9(3) of the RMA for breaches to a District Rule as defined in s43AAB, being the rules in the ODP and PDP which are listed below.

Operative District Plan

The proposal is permitted under the Operative District Plan as it is for a garage which is located more than 500mm from the boundary for less than 6m.

Proposed District Plan

The site is zoned General Residential in the Proposed District Plan and the proposed activity requires resource consent under the PDP for the following reason:

Rules with legal effect (s86B):

- A **restricted discretionary** activity pursuant to Rule GRZ-R1(5) as the proposal breaches standard GRZ-S6 in regard to the front yard setback. It is proposed to construct a shed 1.5m from the boundary which will breach the 3m front yard setback requirement Council's discretion is restricted to the following:
 - The safety and efficiency of the road network;
 - Effects on the character and amenity of the streetscape including dominance;
 - Compatibility with the surrounding environment; and
 - The reason for the reduced setback.

3.2 Activity Status Summary

Overall, the application is being considered and processed as:

- a **restricted discretionary** activity under the PDP.

4. NOTIFICATION ASSESSMENT

Sections 95A – 95F (inclusive) of the Resource Management Act 1991 ('RMA') set out the steps the Council is required to take in determining whether or not to publicly notify an application or notify on a limited basis.

4.1 Public notification – Section 95A

In accordance with section 95A, the following steps have been followed to determine whether to publicly notify the resource consent application:

Step 1 – Mandatory public notification

Mandatory public notification, is not required because:

- The applicant has not requested public notification.
- Public notification is not required as a result of a refusal by the applicant to provide further information or refusal of the commissioning of a report under section 92(2)(b) of the RMA .
- The application does not involve exchange to recreational reserve land under section 15AA of the Reserves Act 1977.

Step 2 – Public notification is precluded

Public notification is precluded as follows:

- There are not rules in a plan or National Environmental Standard that preclude notification.
- The application is:
 - a controlled activity; or
 - a boundary activity as defined by section 87AAB that is restricted discretionary, discretionary or non-complying.

Step 3 – Public notification is required in certain circumstances

- There are no rules in a plan or National Environmental Standard that require notification.
- A consent authority must publicly notify an application if notification is not precluded by Step 2 and the consent authority decides, in accordance with s95D, that the proposed activity will have or is likely to have adverse effects on the environment that are more than minor. An assessment in this respect is undertaken as follows:

The following effects must be disregarded

- Effects on the owners or occupiers of land on which the activity will occur and on adjacent land.
- Trade competition and the effects of trade competition.
- Any persons that have provided their written approval and as such adverse effects on these parties have been disregarded.

Written Approval/s

No written approval has been provided as part of this application.

The following effects may be disregarded:

- An adverse effect of the activity if a rule or national environmental standard permits an activity with that effect – referred to as the “permitted baseline”. The relevance of a permitted baseline to this application is as follows:

Permitted Baseline

The consent authority **may** disregard an adverse effect of the activity if a rule or national environmental standard permits an activity with that effect. In this case, through the proposal

breaches the setback, only the north-east corner of the garage will breach it with an approximate area of 2m² within the 3m setback. As the remainder of the building is considered permitted, only the portion of the garage within the setback needs to be considered.

Assessment of Environmental Effects

The Assessment of Effects provided at section 14 of the applicant's AEE, is comprehensive and is considered accurate. It is therefore adopted for the purposes of this report.

A further Assessment of Environmental Effects under the PDP has been undertaken; this assessment is as follows:

Road network

Though the proposal breaches the setback requirement by 1.5m, the subject site has an existing fence constructed between the street and the area of proposed construction which shields roadusers and pedestrians from view of most of the development. The building will not encroach into the road itself and is proposed to be north-facing to connect to the existing driveway. Vehicles entering and exiting the site will continue using the vehicle crossing and internal turning space as they have prior to the development of the garage and will not cause greater strain on the road network, nor will they threaten the existing wellbeing of the road network infrastructure. Due to the existing fence, it is unlikely that the new building will create a visual distraction to drivers or impose on the street in a way that might impact the safety of the existing network. As such, it can be inferred that effects of the proposed garage on the safety and efficiency of the road network will be less than minor.

Character and amenity

Due to the existing fence along the front boundary of the subject site, and the proposed location of the garage being shielded by the fence, it is unlikely that the garage will dominate the street frontage, nor will it impact the overall amenity of the area. The street itself, while being comprised of setback dwellings with large front gardens, does also have a wide footpath and parking strip, which opens the streetscape further. Due to the subject site having already built up a fence along the boundary, the small portion of the garage which will breach the setback standard will not be immediately noticeable. As per the applicant's assessment, the exterior cladding of the garage will be finished in the same charcoal colour as the fence, which will allow the building to blend into the existing environment. The applicant has stated that using the colour of the fence will reduce any dominance effects as the breach into the setback will blend in with the existing fence, rather than with the dwelling which complies with the front yard setback requirements and is located approximately 5.7m from the front boundary. Due to this, it can be concluded that the overall effect of the garage on the street's character and amenity will be less than minor.

Compatibility

Though the proposed garage is within the setback, the design and locality will not dominate an otherwise spacious and low-built urban environment due to the two-storey school buildings opposite the site which are built up to the respective boundary. Furthermore, as the subject site has an existing fence built along the front boundary, any potential dominance or incompatibility with the surrounding environment is mitigated due to a lack of complete visibility. The garage will be visible over the fence, however for a pedestrian or motorist it is unlikely that the building will be immediately noticed due to the shielding effect the existing fence will have, and the proposed finish of the shed, which will be in keeping with the fence itself. As such, it is reasonable to conclude that any adverse compatibility effects will be less than minor.

Reasons for reduced setback

The proposed garage is to be constructed on the southern end of the existing driveway, adjacent to the existing attached garage. Because vehicle access needs to be provided for the garage to function, the location proposed is due to the activity the building will facilitate, it can't be situated around the rear end of the site without removing the outdoor and permeable landscaped area available to the occupant(s). As such, the proposed location is the most acceptable in terms of the intended use of the building, while avoiding loss of amenity on site. As such, given the outlined reasoning behind the proposed location, the overall proposal will be less than minor in any adverse effects that arise as a result of the construction of the detached garage.

Conclusion: Effects On the Environment

On the basis of the above assessment, in terms of s95D, it is assessed that the proposed activity will not have adverse effects on the environment that are more than minor.

Step 4 – Public Notification in Special circumstances

- There are no special circumstances that warrant public notification.

4.2 Limited notification – Section 95B

In accordance with section 95B, the following steps have been followed to determine whether to give limited notification of the application:

Step 1 – Certain affected groups or persons must be notified

- There are no protected customary rights groups or customary marine title groups affected by the proposed.
- The proposal is not on or adjacent to, and will not affect, land that is the subject of a statutory acknowledgment.

Step 2 – Limited notification precluded

- The activity is not subject to a rule or National Environmental Standard that precludes limited notification.
- The application is not for a controlled activity (other than for a subdivision of land) under a district plan.

Step 3 – Certain other affected persons must be notified

- Under Step 3, if the proposal is a boundary activity, only the owner/occupier of the infringed boundary can be considered. The activity is a boundary activity.
- For any other activity, a consent authority must notify an application on any person, if notification is not precluded by Step 2, and the consent authority decides, in accordance with s95E, that the proposed activity will have or is likely to have adverse effects on that person that are minor or more than minor.

An assessment in this respect is therefore undertaken as follows:

Considerations in assessing adverse effects on persons under s95E

- a) The consent authority may disregard an adverse effect of the activity on a person if a rule or national environmental standard permits an activity with that effect (a “permitted baseline”). The relevance of the permitted baseline to this application is outlined in the above s95D assessment of environment effects.
- b) The consent authority must disregard an adverse effect of the activity on the person if the effect does not relate to a matter for which a rule or a national environmental standard reserves control or restricts discretion; and

- c) The consent authority must have regard to every relevant statutory acknowledgement specified in Schedule 11.
- d) The consent authority must disregard effects on those parties who have provided written approval.

Assessment: Effects on Persons

Taking into account the exclusions in sections 95E, the following outlines an assessment as to whether the activity will have or is likely to have adverse effects on persons that are minor or more than minor.

7 Robertson Street

The proposed garage will breach the front setback on the southern end of the subject site, 7 Robertson Street shares the north boundary with the subject site. As such, it is unlikely the occupant(s) of 7 Robertson Street will be impacted by the establishment of the new garage in terms of access to sunlight or amenity loss. Due to the existing fence on site, the garage itself will be largely shielded from view from the street, and the boundary between the subject site and 7 Robertson Street is vegetated and there is a fence between the two sites which further restricts 7 Robertson from viewing the garage. As such, it is likely that effects will be less than minor, due to the lack of complete visibility.

11 Robertson Street

11 Robertson, while not sharing the subject boundary with the subject site, is closest to the proposed garage. The applicant has stated the garage will be designed in line with the existing fence, further to this it will be single-storey and will not breach the side yard setback. With this in mind, it is unlikely the occupant(s) of 11 Robertson Street will experience adverse effects as a result of the garage being established, the garage will not impact the sunlight available to the occupant(s) of 11, and it will not dominate the street. As such it can be concluded that effects of the proposed garage will be less than minor.

121 Kakapo Street – St Peter’s College

The portion of 121 Kakapo that is adjacent to the subject site is a large recreational field and will not be able to view the proposed garage as the shared boundary is with the subject site’s rear boundary and as such the effects of the setback breach will be less than minor.

28 Coutts Road – Māruawai College Senior Campus

The proposed garage will not adversely affect 28 Coutts Road as the main entrance to the college is located on Coutts Road, and furthermore the garage itself will not be noticeable to students or parents/caregivers collecting students or dropping them off due to the existing fence. The building is furthermore unlikely to adversely effect the transport network due to the proposal being for a garage, and on-site vehicle manoeuvring will remain available as well as on-site parking. As such, the proposal is unlikely to adversely affect 28 Coutts Road.

Conclusions: Effects on Persons

In terms of section 95E of the RMA, and on the basis of the above assessment, no person is considered to be adversely affected.

Step 4 – Special Circumstances for Limited Notification

- There are no special circumstances that warrant limited notification of the application.

5. DECISION PURSUANT TO S95A AND S95B OF THE RMA

For the reasons set out above, under s95A and s95B of the RMA, the application is to be processed on a non-notified basis.

6. SECTION 104 ASSESSMENT

6.1 Matters for consideration

This application must be considered in terms of Section 104 of the RMA.

Subject to Part 2 of the RMA, Section 104 sets out those matters to be considered by the consent authority when considering a resource consent application. Considerations of relevance to this application are:

- (a) *any actual and potential effects on the environment of allowing the activity; and*
- (ab) *any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity; and*
- (b) *any relevant provisions of:*
 - (i) *A national environmental standard;*
 - (ii) *other regulations;*
 - (iii) *a national policy statement;*
 - (iv) *a New Zealand coastal policy statement;*
 - (v) *a regional policy statement or proposed regional policy statement;*
 - (vi) *a plan or proposed plan; and*
- (c) *any other matter the consent authority considers relevant and reasonably necessary to determine the application.*

6.2 Effects on the Environment

Actual and potential effects on the environment have been outlined in the section 95 report. Conditions of consent can be imposed under s108 of the RMA as required to avoid, remedy or mitigate adverse effects.

6.3 Relevant District Plan Provisions

Operative District Plan

The relevant operative objectives and policies are contained within Chapter 3: *Land Use Activities – A Framework* of the Operative District Plan.

Operative District Plan Objectives:

3.3.2 *Ensure that the effects of land use activities do not adversely affect the quality of the environment and are compatible with the characteristics and amenity values of each locality.*

3.3.8 *Avoid where practical the adverse effects of land use activities upon infrastructure.*

Operative District Plan Policies:

3.4.2 *Control the adverse effects of land use on the environment.*

The proposal will not adversely affect the quality of the surrounding environment due to its design and the existing fence obstructing the direct view of the entirety of the building. As the garage is part of a residential activity, it is considered to be an anticipated activity within the surrounding environment. Though the wider area is low-built and set back from the road boundary, any potential adverse effects are mitigated by the existing fence and the visual shielding it offers. Because of the fence and the existing

design of the driveway, the proposal will not further impact the existing road infrastructure or network and as such aligns with the Objectives and Policies of the Operative District Plan.

Proposed District Plan

The relevant operative objectives and policies are contained within Chapter GRZ – *General Residential Zone* of the Proposed District Plan.

Proposed District Plan Objectives & Policies:

GRZ-O1 *Existing and future residential needs are met within the District.*

GRZ-O2 *The character and qualities of the General Residential Zone are maintained, including:*

- 1. A built form of single and two-storey buildings;*
- 2. On-site outdoor living areas; and*
- 3. A good level of daylight access and privacy on and between properties*

GRZ-P10 *Avoid activities that are incompatible with the character, qualities and purpose of the General Residential Zone, except where the activity is critical infrastructure that has a functional need or operational need for its location*

The proposal has sought to provide further off-street parking for the occupant(s) of the subject site and reduce any potential strain on the on-street parking availability. The location for the garage has been selected in order to maintain existing on-site outdoor living areas and allow for adequate vehicle manoeuvring and vehicle access to the proposed garage. Through the proposal, the applicant has noted that the building has been designed in accordance with the low-lying built form of the surrounding street, and the existing fence which shields the majority of the proposal from direct view. In order to maintain the existing character of the site, the building will be of a low built form, and will not risk the neighbouring site and occupant(s)'s access to sunlight through the proposed development. As such, it can be considered that the proposal aligns with the intentions for the zone and the Objectives and Policies.

7. PART 2 OF THE RMA

The purpose of the RMA is to promote the sustainable management of natural and physical resources.

Section 6 – Matters of national importance

The site does not contain any features which might require assessment. Matters of national importance have been considered, however with none identified on site, it is considered that the proposal is appropriate within the residential zoning.

Section 7 – Other matters

The site does not contain any features which might require assessment. Matters of national importance have been considered, however with none identified on site, it is considered that the proposal is appropriate within the residential zoning.

Section 8 – Treaty of Waitangi

The site is not located within any known heritage sites or statutory acknowledgement areas and therefore the proposal is not inconsistent with the principles of the Treaty of Waitangi.

Overall, the proposal is considered to meet the purpose and principles of the RMA.

8. DECISION ON RESOURCE CONSENT

Pursuant to Section 104C of the RMA, consent is **granted** to construct a garage 1500mm off the front street boundary, subject to the following conditions imposed pursuant to Section 108 of the RMA:

Consent Conditions

1. The proposed activity must be carried out in accordance with the application as submitted to the Council and the following plans:
 - a. Elden & Maree Abernethy, 9 Robertson Street, Gore, 'Proposed Site Plan', Sheet No. 1, prepared by Ajax Building Contractors Ltd, dated 19 June 2026.
 - b. Proposed Building, 9 Robertson Street, Gore, Sheets:
 - i. Standard Details, 0.1
 - ii. Site Information, 1.0
 - iii. Foundation Plan, 1.1
 - iv. Floor Plan, 1.2
 - v. Roof Frame Plan, 1.3
 - vi. Roof Plan, 1.4
 - vii. Elevations, 2.0
 - viii. Frame Elevation – Grid A, 3.0
 - ix. Frame Elevation – Grid B, 3.1
 - x. Frame Elevation – Grid 1, 3.2
 - xi. Frame Elevation – Grid 2, 3.3
 - xii. Frame Elevation – Grid 3, 3.4

All prepared by Endeavour Sheds, all dated 08/06/2026.
2. The finish of the exterior cladding of the building will be consistent with the finish of the existing fence on the road-facing boundary on site.

Advice Notes

1. The Gore District Plan and Gore District Council Subdivision and Development Bylaw 2019 sets out standards and requirements, which are required to be met in constructing any buildings.

Administrative Matters

The costs of processing the application are currently being assessed and you will be advised under separate cover whether further costs have been incurred.

The Council will contact you in due course to arrange the required monitoring. The Monitoring Officers time will be charged to the consent holder. It is suggested that you contact the Council if you intend to delay implementation of this consent or if all conditions have been met.

This resource consent is not a building consent granted under the Building Act 2004. A building consent must be obtained before construction can begin.

This resource consent must be exercised within five years from the date of this decision subject to the provisions of section 125 of the RMA.

If you have any enquiries, please contact the duty planner on phone (03) 209 0330 or email planning@goredc.govt.nz.

Prepared by

A handwritten signature in black ink, appearing to read 'Alex Hall'.

Alex Hall
Planning Consultant

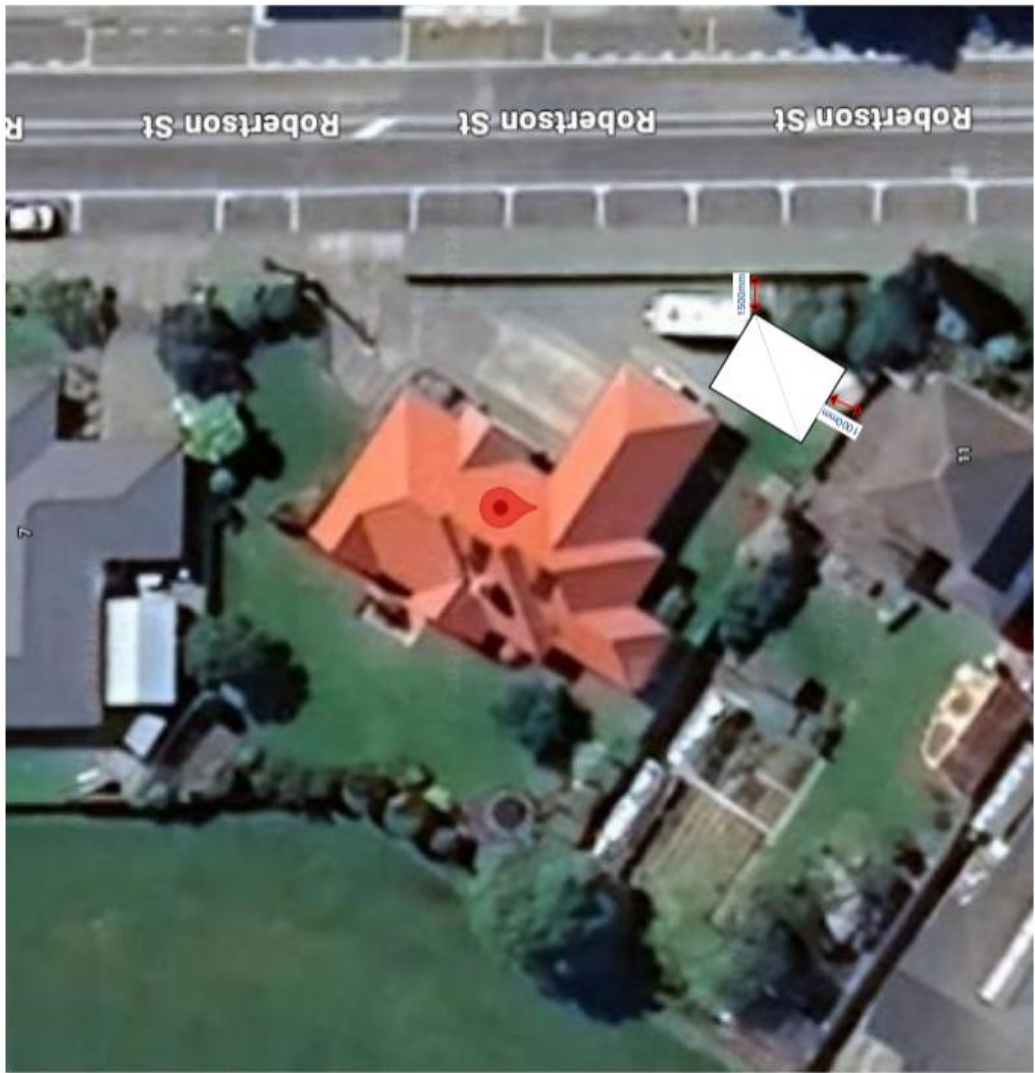
Decision made by

A handwritten signature in black ink, appearing to read 'Werner Murray'.

Werner Murray
Delegate

Appendix A: Approved Plans

APPENDIX A – APPROVED PLANS



SHEET
1
DATE
19/05/2024

SHEET TITLE:
Proposed Site Plan
Scale @ A3 Size

PROJECT:
Elden & Maree Abernethy
9 Robertson Street
Gore



STANDARD NOTES

- All building work must comply with any other relevant legislation, these include
- New Zealand Building Code
 - Resource Management Act 1991
 - Local Territorial Authorities by-laws
 - Electricity Act 1992
 - Health & Safety at Work Act 2015
 - All proprietary items and materials shall be fixed, installed or applied in strict accordance with the manufacturers recommendations and specifications.
 - All fixings and fixings and materials are to comply with NZS 3604:2011 Section 4 Durability.
 - Store excavation staple on site.
 - Any discrepancies or ambiguity shall be clarified with Endeavour Sheds Ltd before any further work commences.

DISTRICT PLANNING

Always check with your local council to make sure your proposed building work does not have any district planning implications taking consideration of maximum site coverage, yard or setback requirements, daylight access planes or permitted activities. A resource consent may be required and it's important that this is obtained before starting any building work.

STORMWATER

You need to consider the Building Code requirements regarding the disposal of stormwater from the roof of your building. You may need to seek professional guidance and seek approval from your council.

UNDER SLAB NOTE

Excavate all topsoil/organic matter from the building footprint and areas to be hard filled or to receive concrete foundations. Thoroughly compact all sub grade surfaces prior to backfilling with hard fill.

Supply lay and compact hard fill under floor slabs and foundations where detailed. Hard fill material shall be well graded GAP 40, compacted shall be consolidated to not less than 95% of maximum dry density of the fill material determined by NZS4402, Test 4.1.3 The minimum depth shall be 150mm.

CONCRETE COVER

Where the cover is not shown on the drawings, refer to the following standards

NZS 3101 "Concrete Structures Standard"

NZS 3109 "Concrete Construction"

BAR SUPPORTS

Reinforcing bar supports have not been shown on the drawings. The contractor shall supply bar supports as required to ensure all bars are adequately supported and secured against displacement at centres sufficient to ensure that the reinforcing does not move more than 10mm during construction.

SYMBOLS & ABBREVIATIONS

CONCRETE	D		H	
	BAR DIA	300MPa	500MPa	
	10mm	400	600	
	12mm	500	800	
	16mm	600	1000	

Unless otherwise noted on the drawings the following minimum lap lengths shall apply:

STANDARD RETURNS

Return length stated
or 120 minimum

HIGH STRENGTH FASTENERS

Fasten to comply with AS/NZS 1252:2016. All bolts & nuts are to be installed to a snug fit. At least three clear threads must protrude above the nut after tightening

BRACING

All bracing noted is to be Lumberlok Multi brace, 91mm x 53mm G300. Bracing is generally to outside face unless noted otherwise. One tensioner per brace line. Refer to Lumberlok Multi brace product brochure in the projects supporting documents.

Fixings noted:

- Fix 1 - 3.150 x 30mm product nails at each end or
- Fix 11 - 3.150 x 30mm product nails if folded over face
- Fix 1 - 3.150 x 30mm product nails at each girt/purlin crossing

Steel structural member

- Fix 5 - 10g x 16mm Water head screws at each end
- Fix 1 - 10g x 16mm Water head screws at each girt/purlin crossing

DOOR & WINDOW NOTE

- All external doors and windows are rough opening sizes only.
- All doors & windows must be site measured before manufacture.
- Ensure allowance is made for all rebates, confirm with owner.
- All aluminium joinery units are to be powdercoated.
- H3.1 Plus Radiata timber reveals.
- SG denotes safety glazing to comply with NZS 4223:Part 3 2016.
- All other glazing requirements to be confirmed with client.

TIMBER SPECIES REPLACEMENT

Any noted timber species in the drawings may be replaced with a suitable equivalent.

- Douglas Fir can be replaced for Radiata Pine
- Radiata Pine can be replaced for Douglas Fir.

TIMBER TREATMENT REPLACEMENT

Any noted timber treatment in the drawings may be replaced with an equivalent or higher treatment level.

- H1.2 can be replaced with H3.2

CORRUGATED CLADDING FIXINGS (LOW, MEDIUM & HIGH WIND ZONES)

Fixing pattern guidance taken from New Zealand Metal Roof & Wall Cladding Code Of Practice v3.0 for Restrictive Access Roofs for Corrugated Steel, G550 Steel, 0.40 BMt, minimum of 27mm high.

- Top & Lower Purlin fixing pattern (See below)
- Intermediate Purlin fixing pattern (See below)

Fixings to be a Minimum Class 4 durability and not less than the cladding material fixed.

Roof Cladding:

- Timber Purlins = 12g x 35mm 117 Tek Screw with Neoprene Seal (Rib Fixed)
- Steel Purlins = 12g x 35mm Steelite Tek Screw with Neoprene Seal (Rib Fixed)

Wall Cladding:

- Timber Girts = 12g x 25mm 117 Tek Screw with Neoprene Seals (Pan Fixed)
- Steel Girts = 12g x 20mm Steelite Tek Screw with Neoprene Seals (Pan Fixed)

5-RIB CLADDING FIXINGS (LOW, MEDIUM & HIGH WIND ZONES)

Fixing pattern guidance taken from New Zealand Metal Roof & Wall Cladding Code Of Practice v3.0 for Restrictive Access Roofs for Trapezoidal 5-Rib, G550 Steel, 0.40 BMt, minimum of 27mm high.

- Top & Lower Purlin fixing pattern (See below)
- Intermediate Purlin fixing pattern (See below)

Fixings to be a Minimum Class 4 durability and not less than the cladding material fixed.

Roof Cladding:

- Timber Purlins = 12g x 35mm 117 Tek Screw with Neoprene Seal (Rib Fixed)
- Steel Purlins = 12g x 45mm Steelite Tek Screw with Neoprene Seal (Rib Fixed)

Wall Cladding:

- Timber Girts = 12g x 25mm 117 Tek Screw with Neoprene Seal (Pan Fixed)
- Steel Girts = 12g x 20mm Steelite Tek Screw with Neoprene Seal (Pan Fixed)

CORRUGATED CLADDING FIXINGS (VERY & EXTRA HIGH WIND ZONES)

Fixing pattern guidance taken from New Zealand Metal Roof & Wall Cladding Code Of Practice v3.0 for Restrictive Access Roofs for Corrugated Steel, G550 Steel, 0.40 BMt, minimum of 16.5mm high.

- All purlins fixing pattern (See below)

Fixings to be a Minimum Class 4 durability and not less than the cladding material fixed.

Roof Cladding:

- Timber Purlins = 12g x 35mm 117 Tek Screw with Neoprene Seal (Rib Fixed)
- Steel Purlins = 12g x 35mm Steelite Tek Screw with Neoprene Seal (Rib Fixed)

Wall Cladding:

- Timber Girts = 12g x 25mm 117 Tek Screw with Neoprene Seals (Pan Fixed)
- Steel Girts = 12g x 20mm Steelite Tek Screw with Neoprene Seals (Pan Fixed)

5-RIB CLADDING FIXINGS (VERY & EXTRA HIGH WIND ZONES)

Fixing pattern guidance taken from New Zealand Metal Roof & Wall Cladding Code Of Practice v3.0 for Restrictive Access Roofs for Trapezoidal 5-Rib, G550 Steel, 0.40 BMt, minimum of 27mm high.

- All Purlins fixing pattern (See below)

Fixings to be a Minimum Class 4 durability and not less than the cladding material fixed.

Roof Cladding:

- Timber Purlins = 12g x 35mm 117 Tek Screw with Neoprene Seal (Rib Fixed)
- Steel Purlins = 12g x 45mm Steelite Tek Screw with Neoprene Seal (Rib Fixed)

Wall Cladding:

- Timber Girts = 12g x 25mm 117 Tek Screw with Neoprene Seal (Pan Fixed)
- Steel Girts = 12g x 20mm Steelite Tek Screw with Neoprene Seal (Pan Fixed)

DESIGNER



PROJECT :
DRAWING TITLE :

PROPOSED BUILDING
FOR AJAX
9 ROBERTSON STREET, GORE
STANDARD DETAILS

DESCRIPTION
CONSENT ISSUE

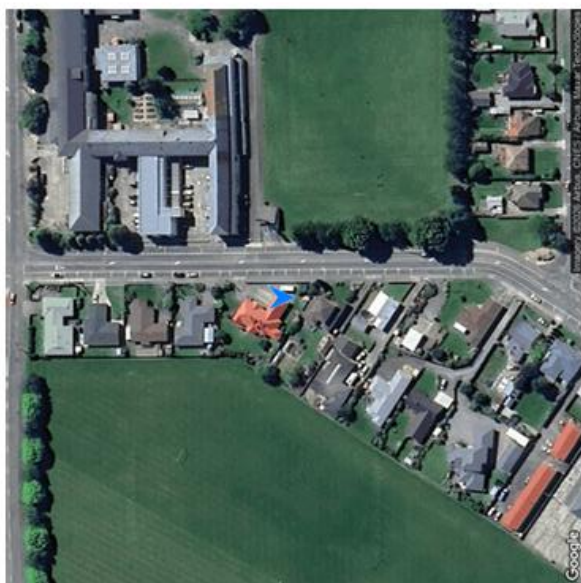
MERCHANT
PlaceMakers

DRAWN :
SCALE :
PROJECT NO :
SHEET NO :
REV :
AUTO
- (A3)
PUN1148-3
0.1
-

www.endeavoursheds.co.nz

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endeavour sheds
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www.placemakers.co.nz



Not to scale

Locate boundary pegs before commencing setout of foundation, if they can't be located arrange for surveyor to re-instate them.

[illegible]

FOUNDATION PLAN NOTES:

Floor Slab (Non-Structural):
Design is not included as part of these drawings and therefore
Not covered under the projects PS1.

Floor Slab Design is to be considered between shed supplier /
builder & owner. Consider slab perimeter thickening, slab thickness,
reinforcing, shrinkage control & DPM under slab.

Refer to the construction details for footing details.

LEGEND:

175Ø

200Ø

M150

Poles:
• Timber 175Ø SED HS ND RAD
• Pole Footing (600Ø x 1000 Deep)

Poles:
• Timber 200Ø SED HS ND RAD
• Pole Footing (600Ø x 1200 Deep)

Mullions:
• Timber 27150x50 RS UT SC8 D-Fir
• Mullion Footing (300x300x300 Deep)

The diagram shows a rectangular foundation slab with overall dimensions of 8000mm by 3600mm. The slab is divided into three bays (BAY 1, BAY 2, BAY 3) and two sections (A, B). The slab is supported by 175Ø poles and 200Ø poles. The footing details are as follows:

- 175Ø Pole Footing (600Ø x 1000 Deep)
- 200Ø Pole Footing (600Ø x 1200 Deep)
- Mullions: Timber 27150x50 RS UT SC8 D-Fir
- Mullion Footing (300x300x300 Deep)

The diagram also shows the location of door rebates and the placement of mullions (M150) and poles (175Ø, 200Ø).

FOUNDATION PLAN
SCALE 1 : 100

DESIGNER

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PROJECT :

PROPOSED BUILDING FOR AJAX 9 ROBERTSON STREET, GORE

DRAWING TITLE :

FOUNDATION PLAN

DRAWN :

SCALE :

PROJECT NO :

SHEET NO :

REV :

AUTO
1:100 (A3)
PLIN1148-3
1.1
-

MERCHANT

PlaceMakers

RS 1432501 Street West Invercargill
Invercargill 9810
Tony Ball 03 211 0000
tony.ball@placemakers.co.nz
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DESCRIPTION

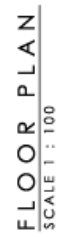
CONSENT ISSUE

REV

DATE

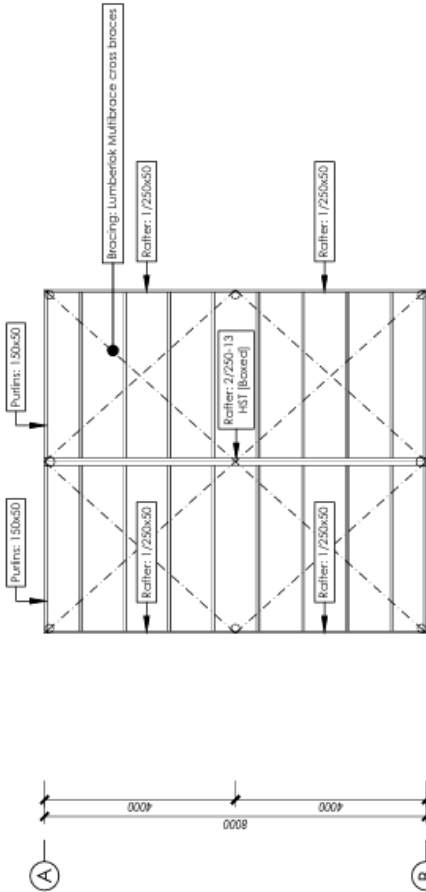
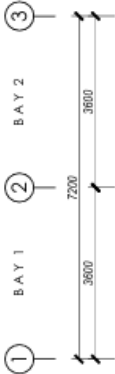
DESCRIPTION

CONSENT ISSUE

Floor Area: 57.6m²

DESIGNER  www.endeavoursheds.co.nz	PROJECT : PROPOSED BUILDING FOR AJAX 9 ROBERTSON STREET, GORE FLOOR PLAN DRAWING TITLE :	<table><tr><th>REV</th><th>DATE</th><th>DESCRIPTION</th><th>MERCHANT</th><th>DRAWN :</th><th>AUTO</th></tr><tr><td>-</td><td>8-6-2026</td><td>CONSENT ISSUE</td><td> 85 LINDSEY STREET, WEST AUCKLAND 09 488 9810 tony.kelly@placemakers.co.nz www.placemakers.co.nz</td><td>SCALE : PROJECT NO : SHEET NO :</td><td>1:100 (A3) PLN1146-3 1.2</td></tr><tr><td></td><td></td><td></td><td></td><td>REV :</td><td>-</td></tr></table>	REV	DATE	DESCRIPTION	MERCHANT	DRAWN :	AUTO	-	8-6-2026	CONSENT ISSUE	 85 LINDSEY STREET, WEST AUCKLAND 09 488 9810 tony.kelly@placemakers.co.nz www.placemakers.co.nz	SCALE : PROJECT NO : SHEET NO :	1:100 (A3) PLN1146-3 1.2					REV :	-	This drawing is the copyright © of Endeavour Sheds Ltd. Do not scale from this drawing. Contractor must verify all dimensions on site. www.endeavoursheds.co.nz
REV	DATE	DESCRIPTION	MERCHANT	DRAWN :	AUTO																
-	8-6-2026	CONSENT ISSUE	 85 LINDSEY STREET, WEST AUCKLAND 09 488 9810 tony.kelly@placemakers.co.nz www.placemakers.co.nz	SCALE : PROJECT NO : SHEET NO :	1:100 (A3) PLN1146-3 1.2																
				REV :	-																

ROOF FRAME PLAN NOTES :
Rafter: 1/250x50 RS UT SG8 D-Fir
Grid 1.3 : Timber 1/250x50 RS UT SG8 D-Fir
Grid 2 : Steel 2/250-13 HST [Boxed] - 2275
Purlins: Timber 150x50 RS UT SG8 D-Fir



ROOF FRAME PLAN
SCALE 1 : 100

DESIGNER
endeavour sheds
www.endeavoursheds.co.nz

PROJECT :
DRAWING TITLE :

PROPOSED BUILDING
FOR AJAX
9 ROBERTSON STREET, GORE
ROOF FRAME PLAN

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REV DATE DESCRIPTION
- 8-4-2026 CONSENT ISSUE

MERCHANT
PlaceMakers
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tony.kelly@placemakers.co.nz
www.placemakers.co.nz

DRAWN : AUTO
SCALE : 1:100 (A3)
PROJECT NO : PLIN1148-3
SHEET NO : 1.3
REV : -

ROOF PLAN NOTES :

Roof Type: Lean-to

Roof Pitch: 5.7°

Roof Area: 58m²

Roof Cladding: Dimond Corrugate 0.40mm BMT ColorCote

Roof Underlay: Product brand & type TBC by merchant

Roof Netting: Thermokraft Ausmesh Safety Netting 2mm Galv.

Flashings: 0.55mm BMT G300

Spouting: 125mm Box 0.55mm BMT

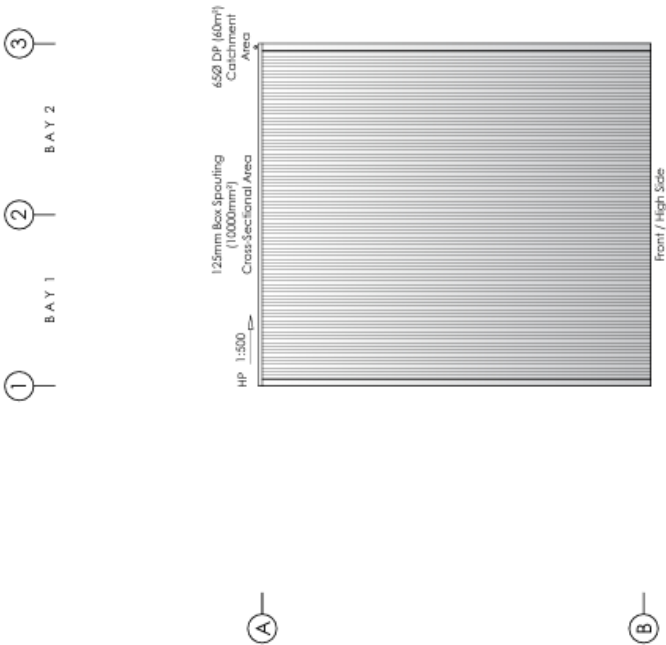
Downpipe: 65mm Ø uPVC, fasten with clips/murazing rings

SERVICES NOTES :

Stormwater to comply with NZBC E1/AS1.

Drainlayer is to provide local T.A. with as built documentation on completion.

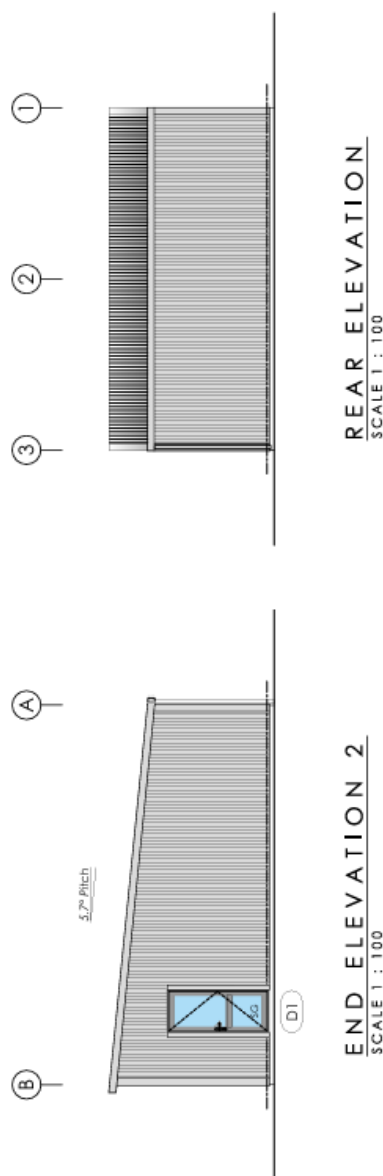
Downpipe controlled discharge to be directed away from building and not affecting other property.



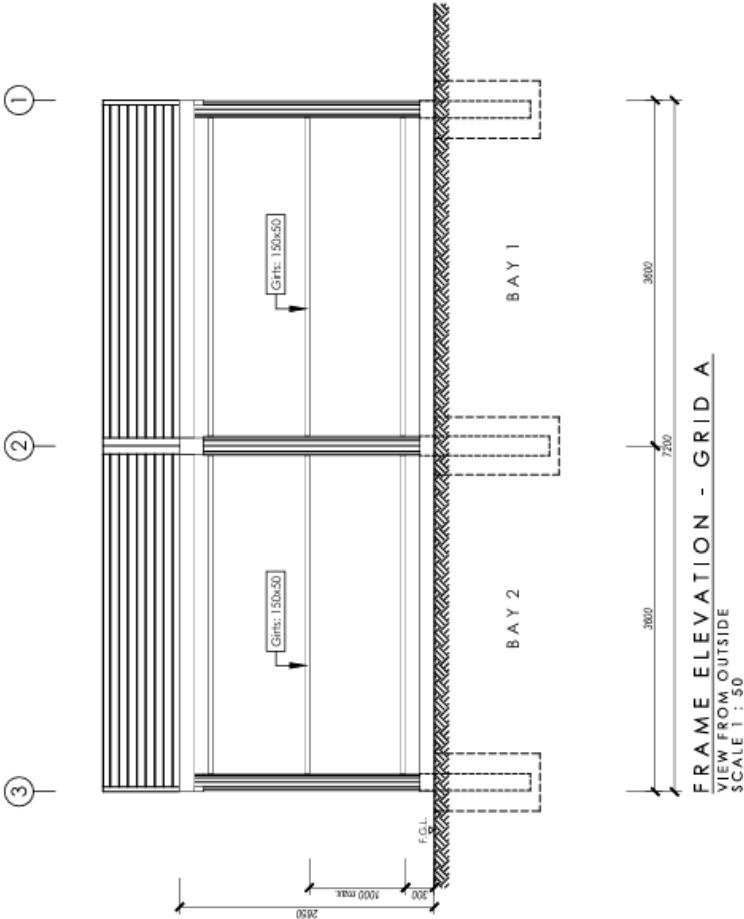
ROOF PLAN
SCALE 1 : 100

DESIGNER endeavour sheds www.endeavoursheds.co.nz		PROJECT : PROPOSED BUILDING FOR AJAX 9 ROBERTSON STREET, GORE DRAWING TITLE : ROOF PLAN This drawing is the copyright © of Endeavour Sheds Ltd. Do not scale from this drawing. Contractor must verify all dimensions on file.		REV DATE DESCRIPTION <table><tr><td>-</td><td>8-6-2026</td><td>CONSENT ISSUE</td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></table>	-	8-6-2026	CONSENT ISSUE													MERCHANT PlaceMakers 85 Lisson Street, West Invercargill Invercargill 9810 03 211 0266 tony.kelly@placemakers.co.nz www.placemakers.co.nz	DRAWN : SCALE : PROJECT NO : SHEET NO : REV : AUTO 1:100 (A3) PUN1148-3 1.4 -
-	8-6-2026	CONSENT ISSUE																			

Roof Type: Lean-to
Roof Pitch: 5.7°
Roof Cladding: Dimond Corugate 0.40mm BMT ColorCote
Roof Underlayment: Product brand & type TBC by merchant
Roof Nailing: Thermofast! Aluminium Self Nailing 2mm Galv.
Wall Cladding: Dimond Corugate 0.40mm BMT ColorCote
Wallings: 0.35mm BMT G300
Fashings: 125mm Box 0.55mm BMT
Spouting: 65mm x 0.55mm x PVC, fasten with clips/munzangs
Downpipes: 65mm x 0.55mm x PVC, fasten with clips/munzangs
Vehicle Doors: Roller door 2.8m (x) 2.4m (h)
Access Door: Alu. Hinged door 0.9m (w) x 2.1m (h)

[illegible]

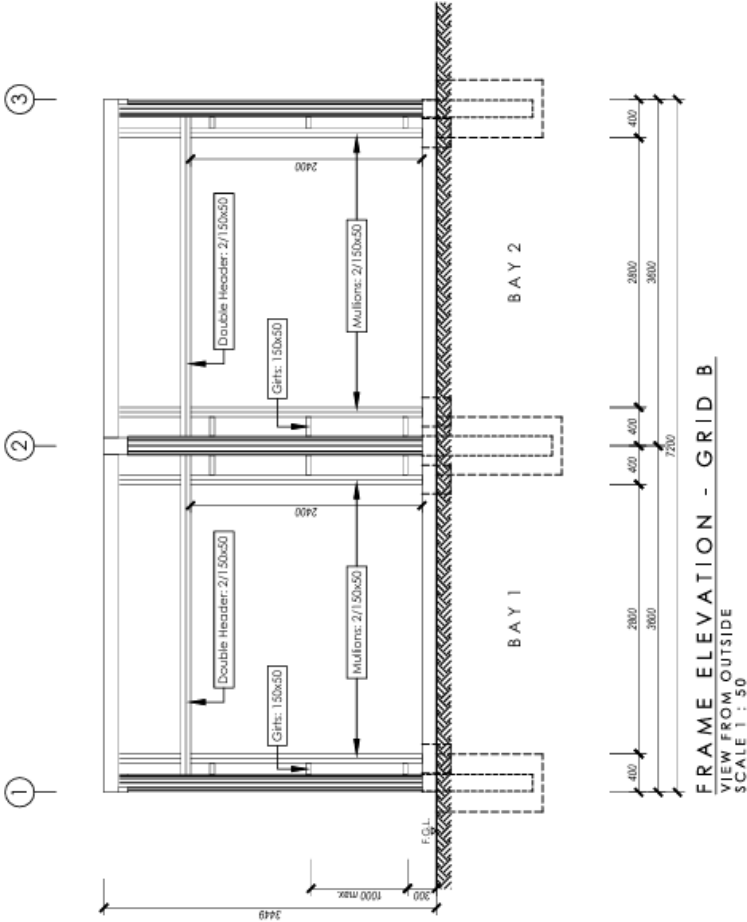
FRAME ELEVATION NOTES :	
Girts :	Timber 150x50 RS UT SGB D-Fir



DESIGNER endeavour sheds www.endeavoursheds.co.nz	PROJECT : PROPOSED BUILDING FOR AJAX 9 ROBERTSON STREET, GORE DRAWING TITLE : FRAME ELEVATION - GRID A	REV DATE DESCRIPTION	MERCHANT PlaceMakers 85 LESLIE STREET - WEST PLYMOUTH INVERCARGILL 9810 03 2201 2200 toriy.kelly@placemakers.co.nz www.placemakers.co.nz	DRAWN : SCALE : PROJECT NO : SHEET NO : REV :	AUTO 1:50 (A3) PLN1148-3 3.0 -

FRAME ELEVATION NOTES :

- Girts : Timber 150x50 RS UT SGB D-Fir
- Mullions : Timber 2/1 50x50 RS UT SGB D-Fir
- Headers : Timber 150x50 RS UT SGB D-Fir



DESIGNER
endeavour
sheds
www.endeavoursheds.co.nz

PROJECT :
DRAWING TITLE :

PROPOSED BUILDING
FOR AJAX
9 ROBERTSON STREET, GORE
FRAME ELEVATION - GRID B

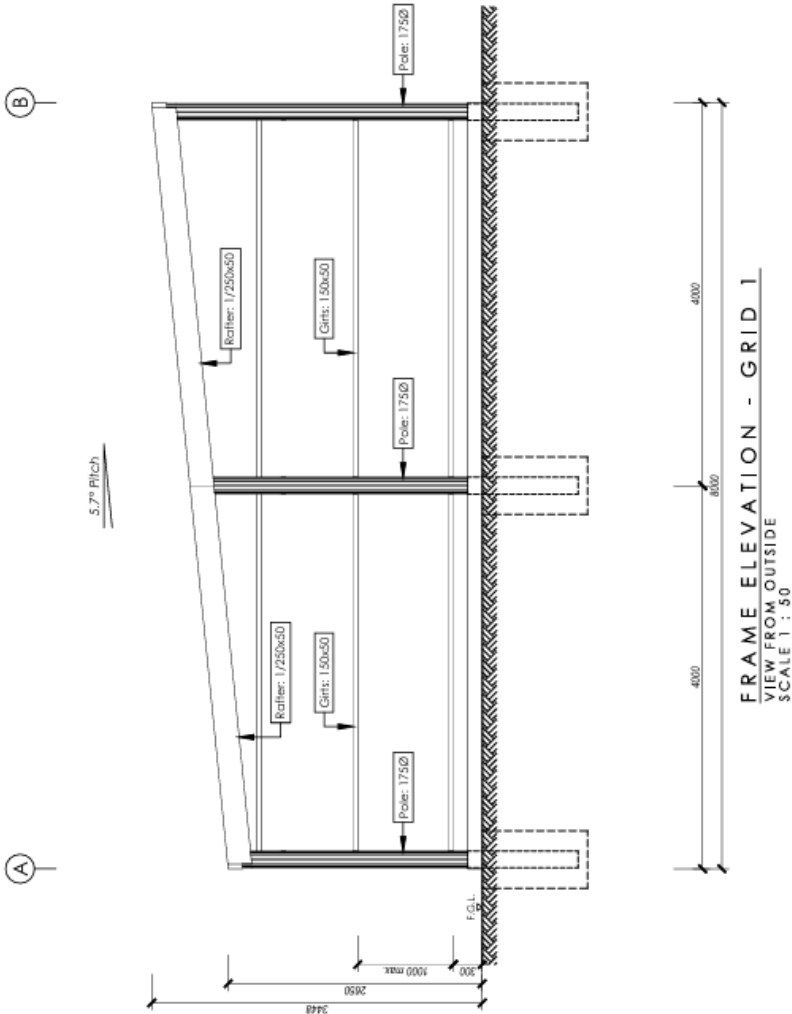
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REV :
DATE :
DESCRIPTION :

MERCHANT
PlaceMakers
85 Ladbroke Street West, Auckland
09 211 0366
tony.kelly@placemakers.co.nz
www.placemakers.co.nz

DRAWN :
SCALE :
PROJECT NO :
SHEET NO :
REV :
AUTO
1:50 (A3)
PLN1148-3
3.1

FRAME ELEVATION NOTES :	
Poles :	Timber 175Ø SED HS ND RAD
Rafters :	Timber 1/250x50 RS UT SG8 D-Fir
Girts :	Timber 150x50 RS UT SG8 D-Fir



DESIGNER  www.endeavoursheds.co.nz	PROJECT : DRAWING TITLE :	PROPOSED BUILDING FOR AJAX 9 ROBERTSON STREET, GORE FRAME ELEVATION - GRID 1	REV - - - - -	DATE 8-6-2026 	DESCRIPTION CONSENT ISSUE 	MERCHANT  85 LUDLOW STREET, WEST HAVEN, CORGIAT HAWKESBURY DISTRICT COUNCIL 03 211 7044 www.placemakers.co.nz	DRAWN : SCALE : PROJECT NO : SHEET NO : REV :	AUTO 1:50 (A3) PLIN1148-3 3.2 -

Poles:
Timber 200Ø SED H5 ND RAD

Rafters:
Steel 2/250-13 HST [Boxed] - 22



	PROJECT : DRAWING TITLE :		PROPOSED BUILDING FOR AJAX 9 ROBERTSON STREET, GORE FRAME ELEVATION - GRID 2		REV DATE - 8-6-2026		DESCRIPTION CONSENT ISSUE		MERCHANT 	DRAWN : SCALE : PROJECT NO : SHEET NO : REV :	AUTO PLIN1148-3 3.3
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Poles:
Timber 175Ø SED H5 ND RAD

Rafters:
Timber 1/250x50 RS UT SG8 D-Fir

Girls:
Timber 150x50 RS UT SG8 D-Fir

Mullions:
Timber 2/150x50 RS UT SG8 D-Fir

Headers:
Timber 150x50 RS UT SG8 D-Fir



	PROJECT: DRAWING TITLE:	PROPOSED BUILDING FOR AJAX 9 ROBERTSON STREET, GORE FRAME ELEVATION - GRID 3	REV	DATE	DESCRIPTION	MERCHANT	DRAWN :	AUTO
			-	8-6-2026	CONSENT ISSUE	 SS LADDER 3300mm x 1000mm x 1000mm m3 2000.00 @ 981.0 03 211 0356 Tony.Sally@placemakers.co.nz	SCALE :	1:50 (A3)
							PROJECT NO :	PJN1148-3
							SHEET NO :	3.4
							REV :	-